11 LUCERNE STREET, BELMORE NSW PROPOSED DUAL OCCUPANCY

STORMWATER CONCEPT PLANS



LOCALITY PLAN

DRAWING INDEX								
Drawing No.	DESCRIPTION							
000	000 COVER SHEET PLAN							
101	STORMWATER CONCEPT PLAN GROUND LEVEL							
102	SEDIMENT & EROSION CONTROL PLAN & DETAILS							
103	MAINTENANCE SCHEDULE & MISCELLANEOUS DETAILS SHEET							
104	TRANSPIRATION BED DETAILS							

NOT FOR CONSTRUCTION

						Architect
						AME
						00 DD
						9a PR
Α	ISSUE FOR DEVELOPMENT APPLICATION	12/03/2025	SFK	EH	OC	PARK
ssue	Description	Date	Designed	Engineer	Checked	M: 0451 E: amer
0	1cm at full,size , , , , , , , , , , , , , , , , , , ,				20cm	i

IER HAZIM ROSPER STREET CONDELL 451659099 ner.hazim@gmail.com

CANTERBURY -BANKSTOWN COUNCIL



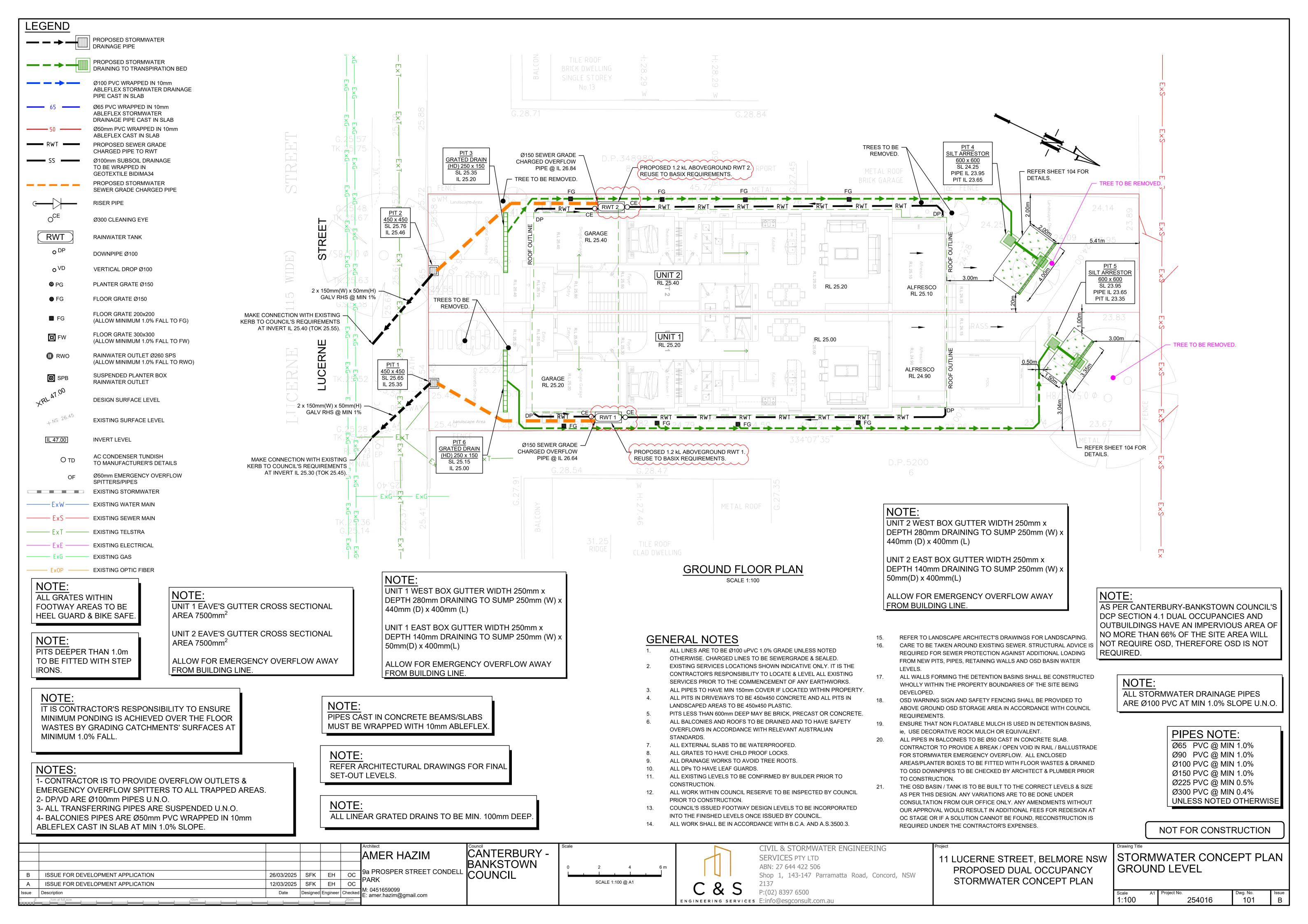
CIVIL & STORMWATER ENGINEERING SERVICES PTY LTD ABN: 27 644 422 506 Shop 1, 143-147 Parramatta Road, Concord, NSW

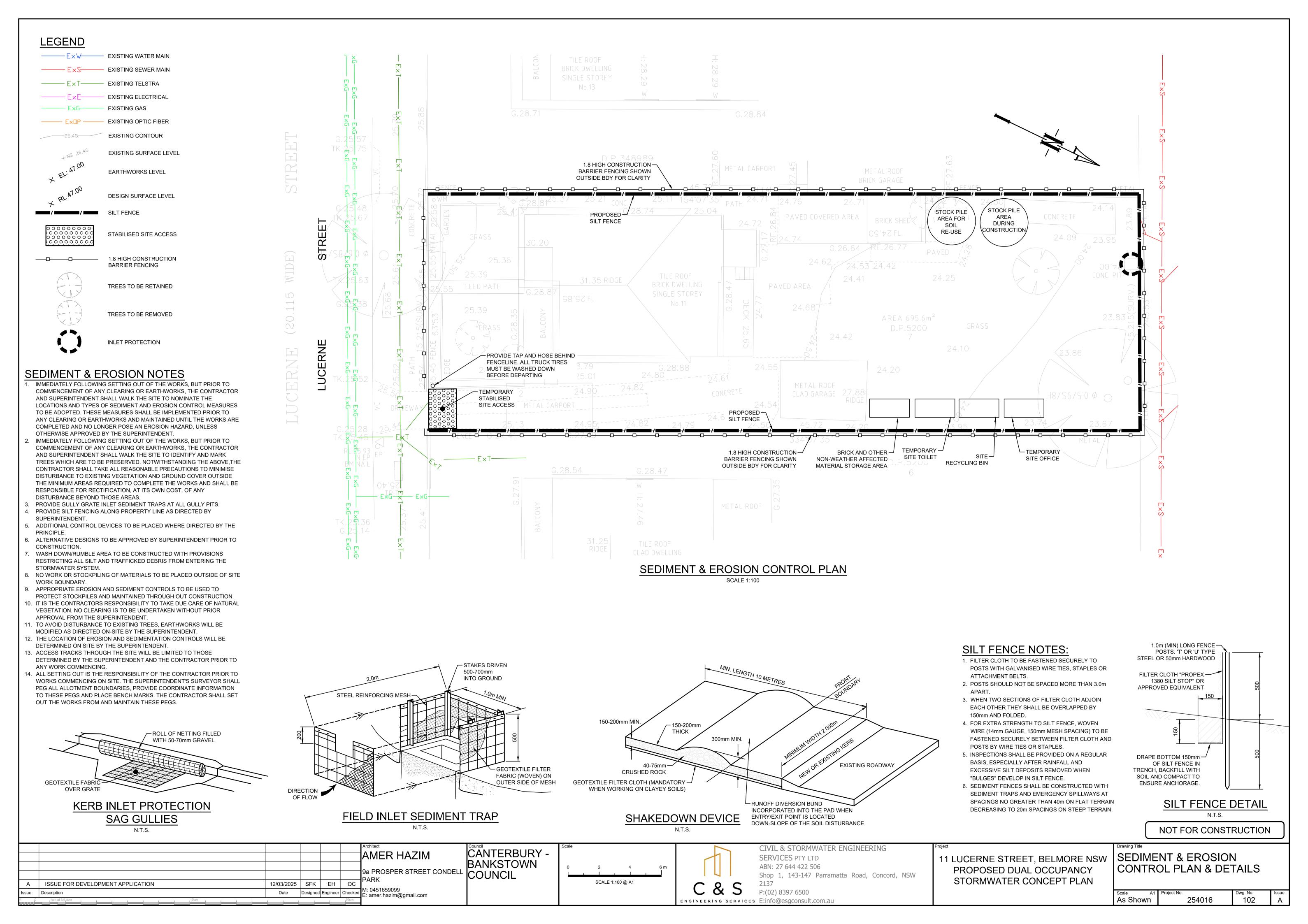
P:(02) 8397 6500

11 LUCERNE STREET, BELMORE NSW PROPOSED DUAL OCCUPANCY STORMWATER CONCEPT PLAN

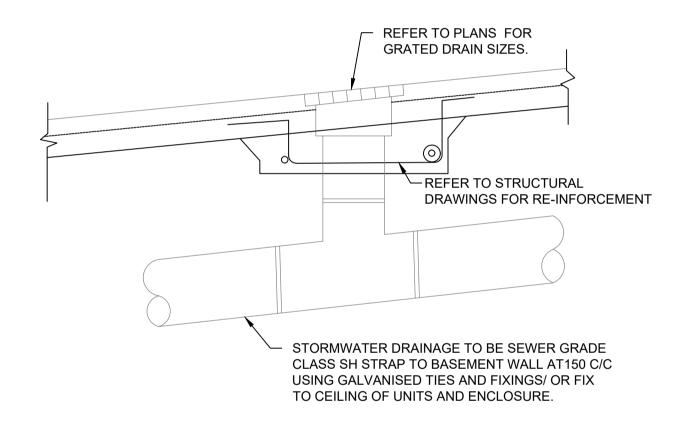
COVER SHEET PLAN

Dwg. No. 254016

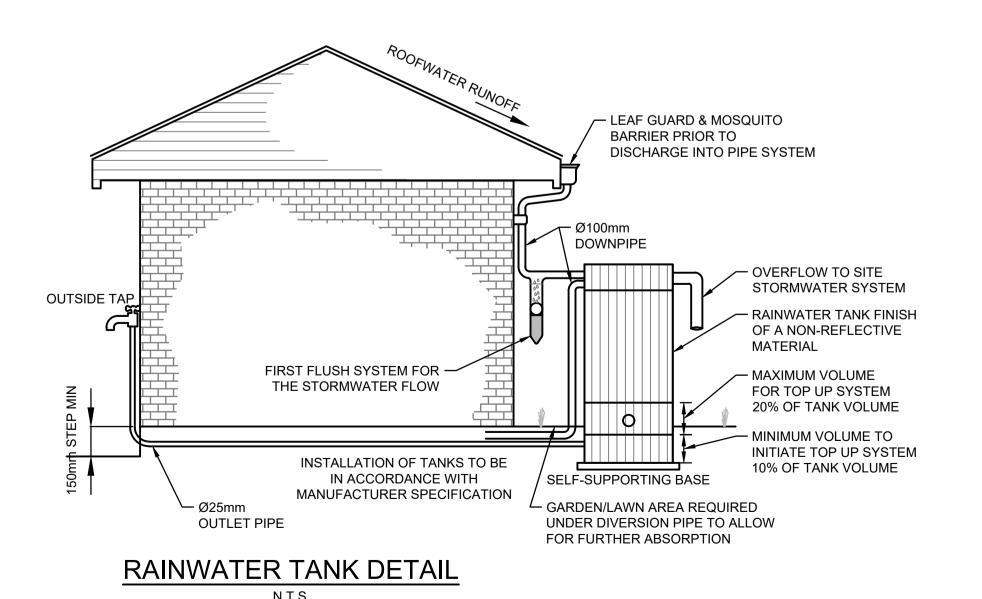


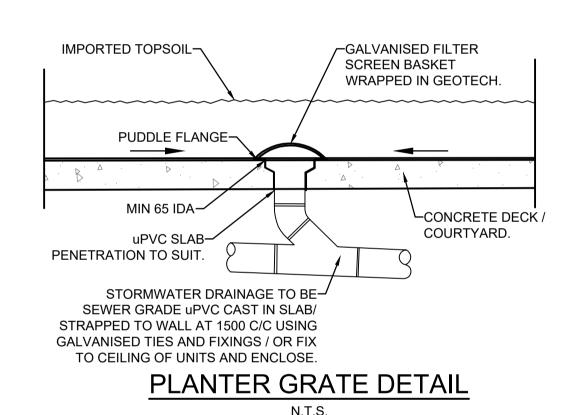


Stormwater Drainage System Maintenance Schedule								
Maintenance Action	Frequency	Responsibility	Procedure					
General								
Inspect roof drainage system of building and remove any debris/sludge		Strata/Maintenance Contractor	Remove any leaves or debris and sludge from gutters of building and flush downpipes of building to remove any blockages. Pits downstream of downpipes to be cleaned of flushed debris.					
Inspect pits and trench drains on site and remove debris/litter/sludge	Monthly or following Rain Period	Strata/Maintenance Contractor	Remove grate. Remove any debris/litter/sludge from within pits.					
Inspect site for litter and floatable debris and remove	Fortnightly	Strata/Maintenance Contractor	Remove litter from site and sweep all driveway and pathways in order to remove leaves or sediments that may enter into the drainage system.					
Storage								
Inspect storage & remove any sediment/sludge in pit	Six monthly	Strata/Maintenance Contractor	Remove grate(s) and screen(s). Remove sediment/sludge build-up.					
Inspect internal walls of storage (and external, if appropriate) for cracks or spalling	Annually	Strata/Maintenance Contractor	Remove grate(s) to inspect internal walls. Repair as required. Clear vegetation from external walls if necessary and repair as required.					
Inspect & remove any debris/litter/mulch etc blocking grates	Six monthly	Strata/Maintenance Contractor	Remove blockages from grate(s) and check if storage is blocked.					
Inspect areas draining to the storage(s) & remove debris/mulch/litter etc likely to block screens/grates	Six monthly	Strata/Maintenance Contractor	Remove debris and floatable material likely to be carried to grates.					
Compare storage volume to volume approved. (Rectify if loss > 5%)	Annually	Strata/Maintenance Contractor	Compare actual storage available with Work-as Executed plans. If volume loss is greater than 5%, arrange for reconstruction to replace the volume lost. Council to be notified of the proposal.					
Inspect storages for subsidence near pits	Annually	Strata/Maintenance Contractor	Check along drainage lines and at pits for subsidence likely to indicate leakages.					



GRATED DRAIN DETAIL





STORAGE TANK NOTES:

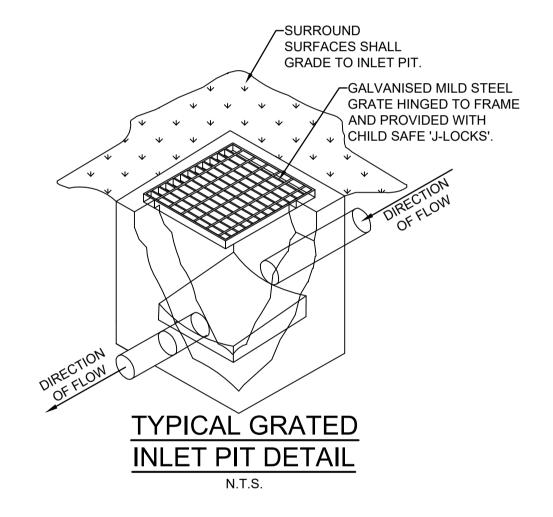
- 1. TANK WATER TAPS SHALL BE MARKED "RAINWATER NOT TO HUMAN CONSUMPTION".
- 2. RAINWATER TANKS SHALL BE CONNECTED TO MAINS WATER
- SUPPLY AS BACKUP.

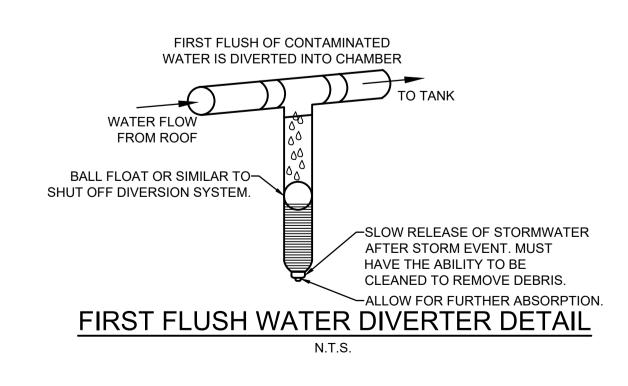
 3. THE PUMPS ARE TO BE INSULATED IN ACCORDANCE WITH
- COUNCIL POLICY.
- 4. PUMPS SHALL PROVIDE MINIMUM 150 kPa PRESSURE.5. EACH TANK TO BE CONNECTED TO AN OUTDOOR TAP FOR
- IRRIGATION USE.
- 6. RAINWATER TANKS TO BE CLEANED OUT EVERY 6 MONTHS.7. WATER TANK AND ASSOCIATED STRUCTURE TO BE THE SAME COLOR, OR A COLOR COMPLEMENTARY TO THE
- DWELLING.

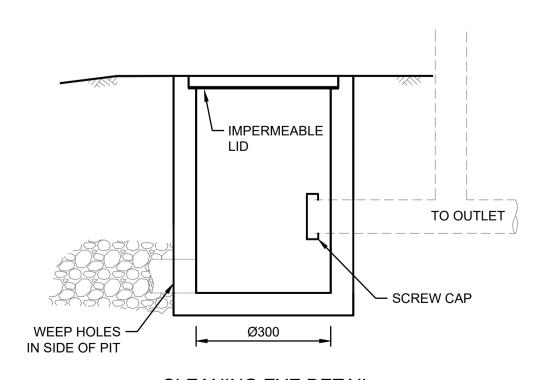
 8. TOP TANK TO BE BELOW TOP OF NEAREST FENCE, OR 1.8
 METERS WHICHEVER IS LESS.
- 9. THE WATER TANK SHOULD BE LOCATED AT LEAST 900mm FROM ANY PROPERTY BOUNDARY.
- 10.PLUMBING FROM THE WATER TANK IS TO BE KEPT
 SEPARATED FROM THE RETICULATED WATER SUPPLY
- SYSTEM.

 11. TANK TO BE BUILT ON SELF-SUPPORTING BASE.
- 12.PROVIDE BACK-FLOW PREVENTION DEVICE AT MAINS WATER
- 13.ROOF DRAINING TO TANK MUST NOT CONTAIN LEAD, TAR
- BASED PAINTS OR ASBESTOS.

14. WATER TO BE DRAWN FROM ANAEROBIC ZONE OF TANK.



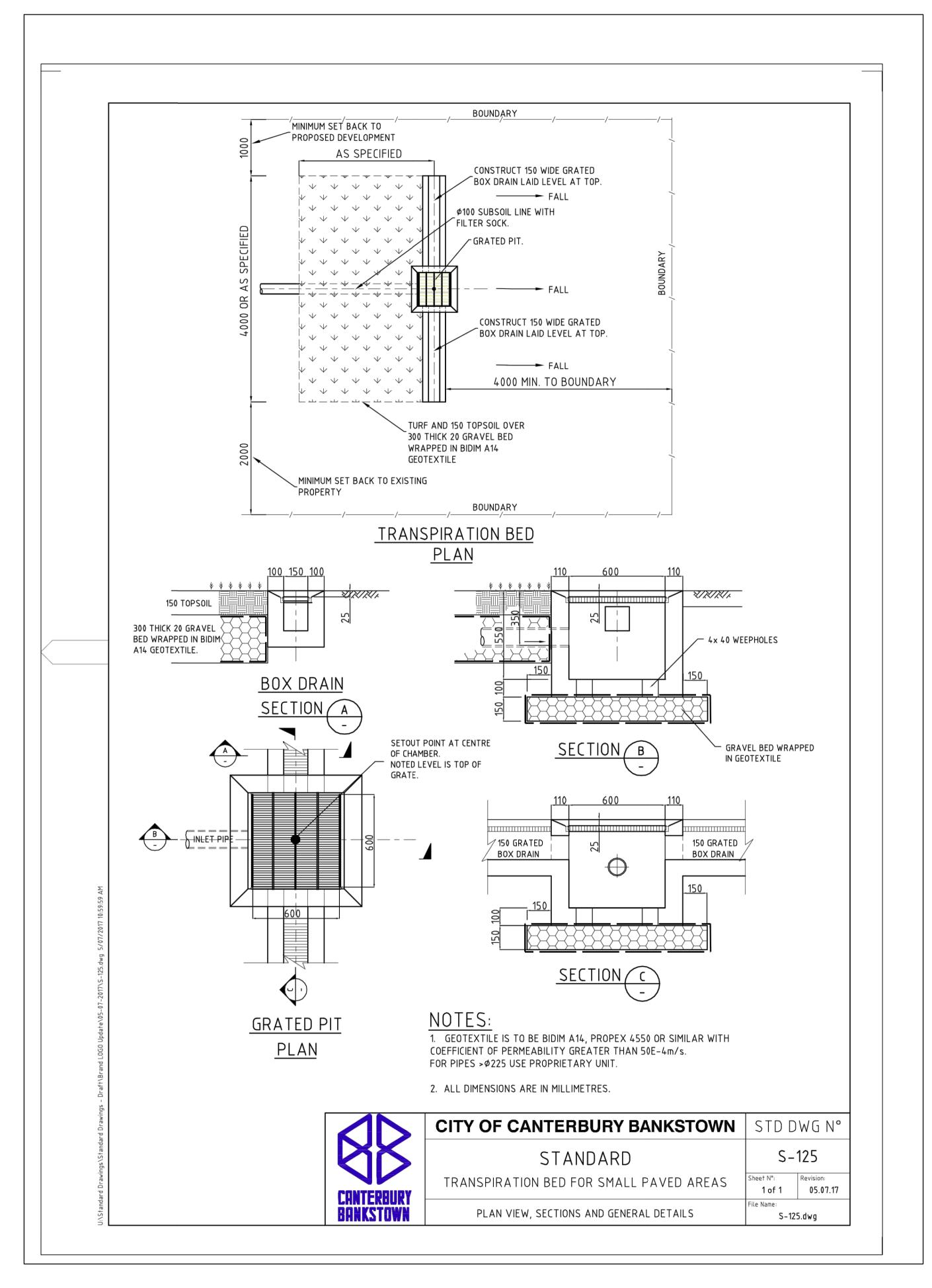


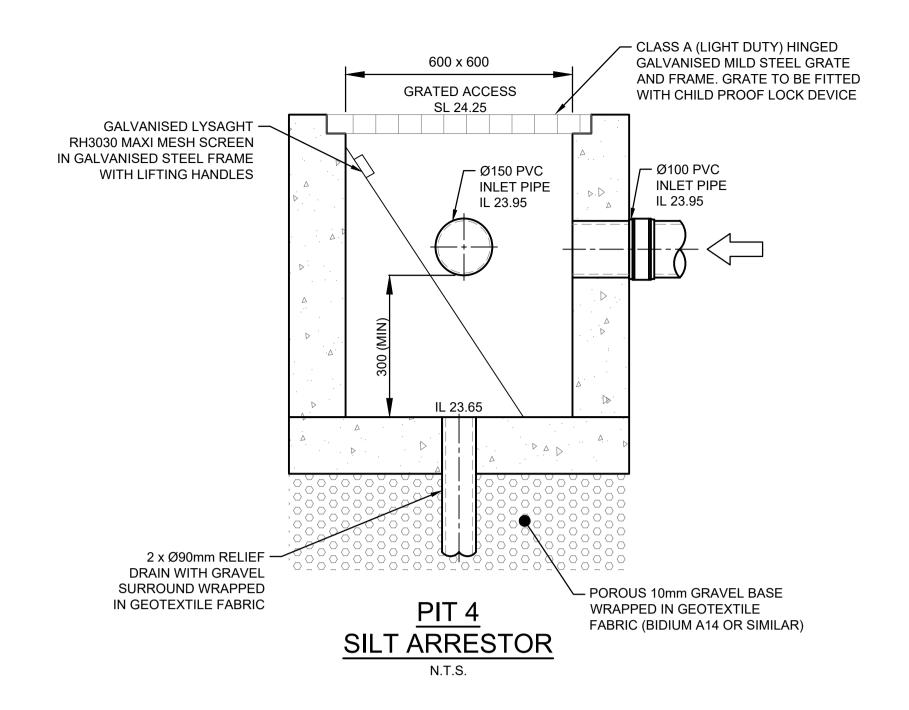


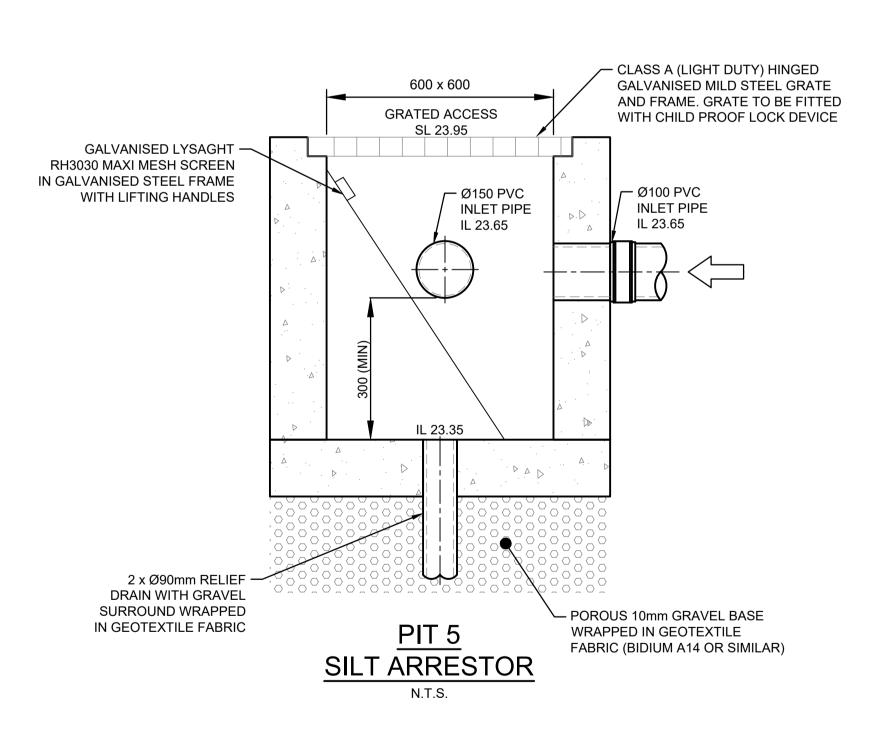
CLEANING EYE DETAIL

NOT FOR CONSTRUCTION

			Architect AMER HAZIM	CANTERBURY -	Scale				CIVIL & STORMWATER ENGINEERING	Project	Drawing Title
				BANKSTOWN	0 2	2 4	6 m		SERVICES PTY LTD ABN: 27 644 422 506	11 LUCERNE STREET, BELMORE NSW PROPOSED DUAL OCCUPANCY	& MISCELLANEOUS DETAILS
			9a PROSPER STREET CONDELL	COUNCIL	<u> </u>		_	1 4 1	Shop 1, 143-147 Parramatta Road, Concord, NSW		SHEET
Α	ISSUE FOR DEVELOPMENT APPLICATION	12/03/2025 SFK EH OC	1 0151050000		So	SCALE 1:100 @ A1		CQ	2137	STORMWATER CONCEPT PLAN	SHELL
Issue	Description	Date Designed Engineer Checked	M: 0451659099 E: amer.hazim@gmail.com					$C \alpha S$	P:(02) 8397 6500		Scale A1 Project No. Dwg. No. Issue
-1	J 1cm at full size	20cm	90					ENGINEERING SERVICE	s E:info@esgconsult.com.au		N.T.S. 254016 103 A







NOT FOR CONSTRUCTION

CANTERBURY -AMER HAZIM BANKSTOWN 9a PROSPER STREET CONDELL COUNCIL ISSUE FOR DEVELOPMENT APPLICATION 12/03/2025 | SFK | EH | OC M: 0451659099 Issue Description Date Designed Engineer Checked E: amer.hazim@gmail.com

& S ENGINEERING SERVICES E:info@esgconsult.com.au

CIVIL & STORMWATER ENGINEERING SERVICES PTY LTD ABN: 27 644 422 506

Shop 1, 143-147 Parramatta Road, Concord, NSW 2137 P:(02) 8397 6500

11 LUCERNE STREET, BELMORE NSW PROPOSED DUAL OCCUPANCY STORMWATER CONCEPT PLAN

TRANSPIRATION BED DETAILS

Dwg. No. 104 Scale N.T.S. 254016